

22. *Planned village community district.*

- A. *Declaration of legislative intent and design standards requirement.* The purpose of this district is to foster the development of traditional neighborhoods, like those found in the historic core of Smyrna, and in other small towns and cities of Delaware, on vacant greenfield tracts. A traditional neighborhood is compact, pedestrian in scale, with an interconnected network of streets and sidewalks, with a variety of dwelling types and sizes (to accommodate a variety of household sizes and incomes) built close to the street, including a variety of appropriately-scaled active and passive open spaces and recreational amenities, along with a mix of uses like schools, public buildings, and neighborhood commercial. Unless otherwise specified below, all uses and design standards shall conform to the planned village community conditional use standards set forth in section 6.14(1) of Appendix A - Zoning of the Smyrna Town Code.
- B. *Permitted uses.* The following uses are permitted: No building or premises shall be used and no building or part of a building shall be erected which is arranged, intended or designed to be used, in whole or in part, for any purpose except the following and in accordance with the Smyrna Zoning Ordinance and the Subdivision and Land Development Ordinance regulations:
- (1) One-family dwellings.
 - (2) Two-family dwellings.
 - (3) Semi-detached dwellings.
 - (4) Attached (townhouse) dwellings.
 - (5) Parks and playgrounds.
 - (6) Family day care home.
 - (7) Accessory uses and structures:
 - (a) Minor home occupation pursuant to section 6.19 of this ordinance.
 - (b) Other accessory uses and structures clearly incidental and customary to and associated with the permitted use.
- C. *Uses permitted as special exception.* The following uses are permitted only if approved as a special exception pursuant to section 9(2) of this ordinance:
- (1) Temporary real estate offices in developments containing a minimum of ten lots.
 - (2) School bus stop shelters, as defined in section 19 of this ordinance.
 - (3) Major home occupation pursuant to section 6.19 of this ordinance.
- D. *Uses permitted as conditional uses.* The following uses are permitted only if approved as a conditional use pursuant to section 6.14 of this ordinance:
- (1) Institutions of an educational nature.
 - (a) *Minimum requirements.* Institutions of education in this zoning district shall be subject to the following requirements:
 - (1) Maximum height: 45 feet.
 - (2) Minimum front yard setback, principal structure: ten feet.
 - (3) Maximum front yard setback, principal structure: 30 feet.
 - (4) Minimum side yard setback: 20 feet.
 - (5) Minimum rear yard setback: 50 feet.
 - (6) Maximum lot coverage: N/A

- (2) Public utility uses.
- (3) Governmental buildings, structures, facilities and uses including, but not limited to, police stations, fire houses, ambulance stations, government offices, library.
 - (a) *Minimum requirements.* Government buildings in this zoning district shall be subject to the following requirements:
 - (1) Maximum height: 45 feet.
 - (2) Minimum front yard setback, principal structure: ten feet.
 - (3) Maximum front yard setback, principal structure: 20 feet.
 - (4) Minimum side yard setback: ten feet.
 - (5) Minimum rear yard setback: 20 feet.
 - (6) Maximum lot coverage: N/A
- (4) Religious and fraternal organizations.
 - (a) *Minimum requirements.* Religious and fraternal organizations in this zoning district shall be subject to the following requirements:
 - (1) Maximum height: 45 feet.
 - (2) Minimum front yard setback, principal structure: ten feet.
 - (3) Maximum front yard setback, principal structure: 20 feet.
 - (4) Minimum side yard setback: ten feet.
 - (5) Minimum rear yard setback: 20 feet.
 - (6) Maximum lot coverage: N/A
- (5) Apartment dwellings.
 - (a) *Minimum requirements.* Apartment dwellings in this zoning district shall be subject to the following requirements:
 - (1) Maximum number of units in building: 24 dwelling units.
 - (2) Maximum height: 45 feet.
 - (3) Minimum front yard setback, principal dwelling: six feet.
 - (4) Maximum front yard setback, principal dwelling: 20 feet.
 - (5) Minimum side yard setback: six feet.
 - (6) Minimum rear yard setback: 20 feet.
 - (7) Maximum lot coverage: N/A
- (6) Mixed-use buildings.
 - (a) Mixed-use buildings shall only have commercial and/or office uses on the first floor, which shall be limited to the following uses: general retail, personal services, day care/nursery school, restaurant/bar, professional/medical offices, gyms and fitness centers, and financial institutions. Residential dwelling units are only permitted on the second and third floors.
 - (b) *Minimum requirements.* Mixed-use buildings in this zoning district shall be subject to the following requirements:
 - (1) Minimum building height: 24 feet (two stories).

- (2) Maximum height: 45 feet (three stories).
 - (3) Maximum building footprint: 10,000 square feet.
 - (4) Minimum front yard setback, principal structure: six feet.
 - (5) Maximum front yard setback, principal structure: 20 feet.
 - (6) Minimum side yard setback: ten feet.
 - (7) Minimum rear yard setback: 20 feet.
 - (8) Maximum lot coverage: N/A
- (7) Commercial/office buildings.
- (a) The following uses are permitted in commercial/office buildings: general retail, personal services, day care/nursery school, restaurant/bar, professional/medical offices, gyms and fitness centers, and financial institutions.
 - (b) *Minimum requirements.* Commercial/office buildings in this zoning district shall be subject to the following requirements:
 - (1) Minimum building height: 16 feet (one story).
 - (2) Maximum height: 45 feet (three stories).
 - (3) Maximum building gross floor area: 15,000 square feet.
 - (4) Minimum front yard setback, principal structure: six feet.
 - (5) Maximum front yard setback, principal structure: 20 feet.
 - (6) Minimum side yard setback: ten feet.
 - (7) Minimum rear yard setback: 20 feet.
 - (8) Maximum lot coverage: N/A
- (8) Bed and breakfast establishments, subject to the following requirements:
- (a) Requirements for bed and breakfast establishments outlined in section 9.a(7) of the central commercial district (CC) shall be complied with unless otherwise specified herein.
 - (b) Off-street parking spaces are encouraged to be located to the rear of the building, though side parking is also acceptable. With corner lots, the property owner shall designate one of the street frontages as the side yard for parking purposes. All parking areas fronting any public street, including side yard parking on a corner lot, must be screened by appropriate vegetative screening. Garages must be located to the rear of the building.
 - (c) Anything in this Appendix A - Zoning to the contrary notwithstanding, each bed and breakfast is limited to one wall sign no greater than eight square feet in size and one monument sign no greater than eight square feet in size and no greater than four feet in height. Illuminated and electronic variable messaging signs are prohibited.
 - (d) Where directly adjacent to a residential property, the adjoining property line(s) shall be adequately screened.
- (9) Accessory dwelling units, in accordance with the standards outlined in section 6.14 (Conditional uses, general guides and standards) and the following.
- (a) All building entrances must be served by a covered porch or portico at least four feet in width and four feet in depth.

- (b) A concrete sidewalk at least four feet in width must extend from the street to each exterior entrance and/or entry porch/stoop of the building.

(Ord. No. 018-22, § 10, 10-17-22)

E. *Parking.* Parking shall be in accordance with section 6, Supplementary district regulations.

F. *Minimum requirements.*

(1) Dwelling, one family and two family:

- a. Minimum lot area: 3,200 square feet.
- b. Minimum lot width: 40 feet.
- c. Maximum lot width: 70 feet.
- d. Minimum lot depth: 80 feet.
- e. Maximum height, two and one-half stories: 35 feet.
- f. Minimum front yard setback: ten feet.
- g. Maximum front yard setback: 20 feet.
- h. Side yard setback: minimum six feet.
- i. Rear yard setback: 20 feet.
- j. Maximum lot coverage: N/A

(2) Dwelling, semidetached (per unit):

- a. Minimum lot area: 2,400 square feet.
- b. Minimum lot width: 30 feet.
- c. Maximum lot width: 50 feet.
- d. Minimum lot depth: 80 feet.
- e. Maximum height: two and one-half stories, 35 feet; three stories, 45 feet.
- f. Minimum front yard setback: ten feet.
- g. Maximum front yard setback: 20 feet.
- h. Unattached side yard setback: six feet.
- i. Attached side yard setback: zero feet.
- j. Rear yard setback: 20 feet.
- k. Maximum lot coverage: N/A

(3) Dwelling, attached (per unit):

- a. Minimum lot area: 1,600 square feet.
- b. Minimum lot width: 20 feet.
- c. Maximum lot width: 50 feet.
- d. Minimum lot depth: 80 feet.
- e. Maximum height, three stories: 45 feet.
- f. Minimum front yard setback: six feet.

- g. Maximum front yard setback: 20 feet.
- h. Unattached side yard setback: six feet.
- i. Attached side yard setback: zero feet.
- j. Rear yard setback: 20 feet.
- k. Maximum lot coverage: N/A

G. *Accessory buildings.* For minimum requirements, see section 6.8, Accessory buildings.

H. *Maximum gross density.* The maximum gross density shall be 12 units per acre.

(Ord. No. 016-21, § 1, 11-1-21)

2. *Planned village community (PVC) conditional use option.*

A. *Legislative intent.* The purpose of this conditional use option is to foster the development of traditional neighborhoods, like those found in the historic core of Smyrna, and in other small towns and cities of Delaware, on vacant greenfield tracts. A traditional neighborhood is compact, pedestrian in scale, with an interconnected network of streets and sidewalks, with a variety of dwelling types and sizes (to accommodate a variety of household sizes and incomes) built close to the street, a variety of appropriately-scaled active and passive open spaces and recreational amenities, and includes a mix of uses like schools, public buildings, and neighborhood commercial where feasible and practicable.

B. *Criteria.* To be eligible for the planned village community conditional use option, properties (either alone or as a group) must comprise at least ten acres in size, and be zoned either R-1, R-1A, R-2, R-2A, or R-3.

C. *Subdivision design standards.*

- (a) Neighborhoods shall be laid out in a generally block or grid pattern formed by an interconnected network of streets and alleys. Blocks should generally be 180—300 feet in depth, and 400—700 feet in length. Blocks longer than 700 feet shall have mid-point pedestrian connections. Dead-end cul-de-sac streets are prohibited.
- (b) Connections and/or street stubs should be made to adjacent properties to provide interconnectivity between other developed or potentially developable residential neighborhoods and commercial centers. Connections should also be made to all adjacent streets and roadways wherever practicable.
- (c) Buildings should directly face the street or a public green, square, or courtyard. Those dwellings and buildings that directly front a green, square or courtyard shall directly abut a sidewalk.
- (d) A variety of lot sizes should be provided, even within the same block, to increase the diversity of dwelling sizes and configurations and to avoid an overly regimented or barracks-like streetscape. Multiple dwelling types and compatible uses are encouraged to be located together on the same block.
- (e) At least two different residential dwelling types must be included in a PVC project situated in the R-2 zoning district, and at least three different residential dwelling types must be included in a PVC project situated in the R-2A or R-3 zoning district. Dwelling types shall not be clustered in specific areas of the project, but rather appropriately interspersed throughout the project.
- (f) At least 60 percent of all single-family detached dwelling lots and semi-detached lots shall be served by rear access alleys. One hundred percent of all attached (townhouse) dwelling lots shall be served by rear-access alleys.
- (g) Off-street parking areas for apartment dwellings and other non-residential buildings shall not be located at the front of the building, but shall be located to the rear or, when rear parking is

impractical, the side of said buildings. Off-street parking areas shall not be located at street corners. Off-street parking areas for all building types shall be situated at the rear of the building where practical. Off-street parking areas may directly front a street so long as said parking areas are situated to the side of buildings, and shall be screened by any of the following, not to exceed three feet in height: a wall, vegetative hedge, fence, or an alternative approved by the planning commission.

- (h) Non-residential buildings shall be of an appropriate scale, massing, and character to complement the adjoining residential neighborhood.
- (i) Sidewalks shall be installed along both sides of all streets (except alleys). Sidewalks shall be at least five feet in width and may be wider along commercial, office, or mixed-use street frontages/blocks. Sidewalks shall be connected using crosswalks where appropriate. Shared use paths shall be a minimum of eight feet in width.
- (j) Traffic calming measures, including but not limited to, curb extensions, medians, narrower "queuing" travel lanes, and traffic circles should be used wherever possible to slow vehicular traffic within the neighborhoods.
- (k) A street hierarchy shall be utilized to ensure that street and ROW widths are appropriately scaled based upon their functional classification.
- (l) The streetscape shall be lined with street trees and streetlights.
- (m) Neighborhoods shall feature a variety of open space types and sizes including, but not limited to, pocket parks, tot lots, playgrounds, greens, squares and plazas, playing fields, basketball/racquet ball/tennis courts, pet parks, and larger parks and passive recreation areas. Open spaces shall be adorned with pedestrian seating, gazebos, pavilions, pergolas, kiosks, fountains, and other pedestrian furniture where appropriate.



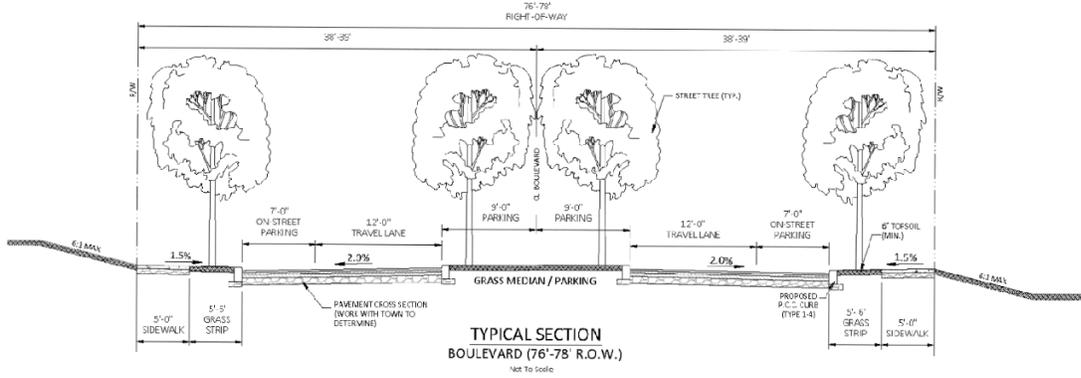
Florin Hill. A traditional mixed-use subdivision of 462 dwelling units on 61 acres (Mount Joy — Lancaster County, PA). The project includes an appropriate mix of dwelling types and uses; seamlessly going from a higher density near the highway to lower density along the farm fields to the rear (emulating the density of a traditional small town or village).



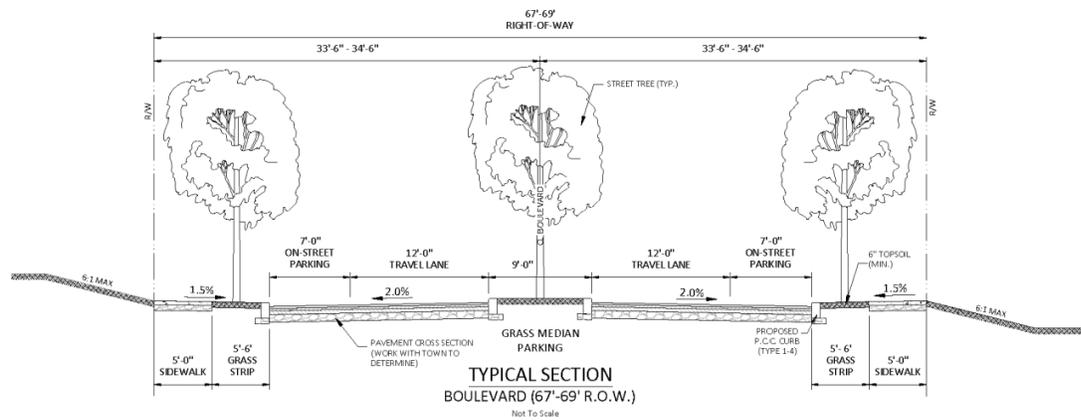
Lantern Hill. This traditional mixed-use subdivision features commercial and office uses near the highway, and an appropriate mix of single-family dwellings, semi-detached dwellings, townhouses (with varying block sizes), and smaller mansion house apartments; all in a generally grid layout.

D. *Streetscape requirements.*

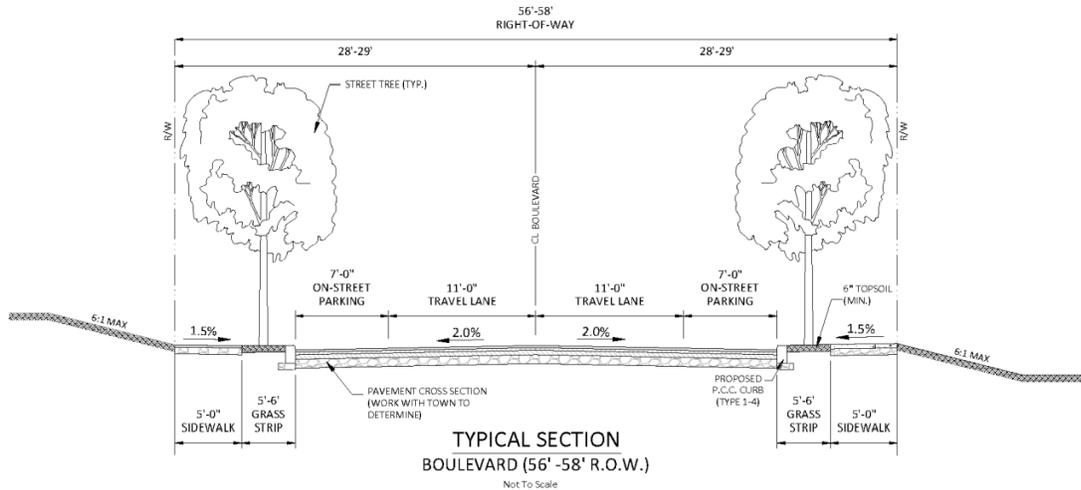
- (a) *Legislative intent.* The streetscape in a PVC shall provide an aesthetically pleasing and multi-modal thoroughfare. The width of travel lanes shall be reduced to the maximum extent practicable to discourage vehicular speeding. In addition to their aesthetic value, street trees, streetlights, marked crosswalks, and sidewalks set back from the street, all provide a safe travel path and atmosphere for pedestrians.
- (b) *Street hierarchy and typologies.* There are three basic street types permitted in a PVC project: Boulevard, Neighborhood, and Alley. Each street type may have one or more design alternatives based upon the need for on-street parking, and the presence of non-residential uses. The street types and design alternatives are as follows:
 - i. *Boulevard street design alternatives.* Boulevard streets provide the primary thoroughfare or spine through the PVC, connect to existing and adjacent state and municipal streets and roads, and serve as collectors from the narrower neighborhood streets. Commercial and mixed-use buildings are limited to frontages on these streets. Marked crosswalks shall be provided at the intersection of all boulevard streets. On-street parking spaces along all boulevard streets must be striped and marked. Bulb-outs (also known as curb-extensions) must be constructed at all intersections with boulevard streets.



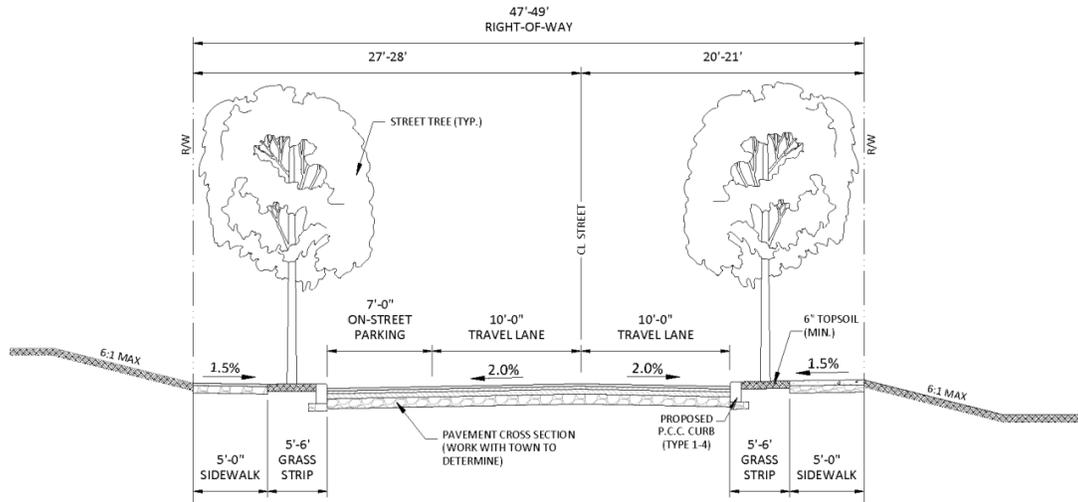
This street design alternative may only be used along Mixed-Use and Commercial Blocks.



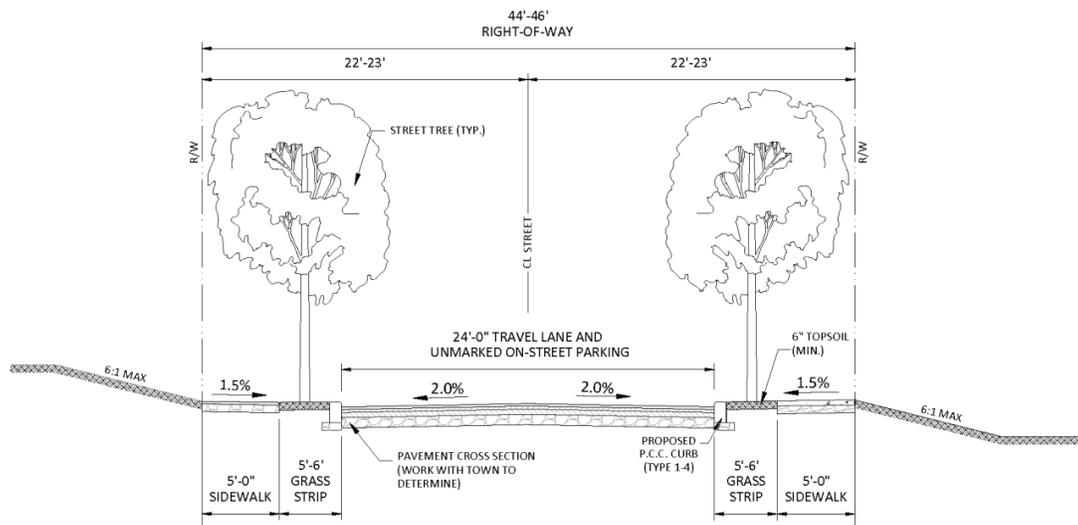
This street design alternative may only be used along Mixed-Use and Commercial Blocks.



This street design alternative be used along a Residential, Mixed-use, or Commercial Blocks.

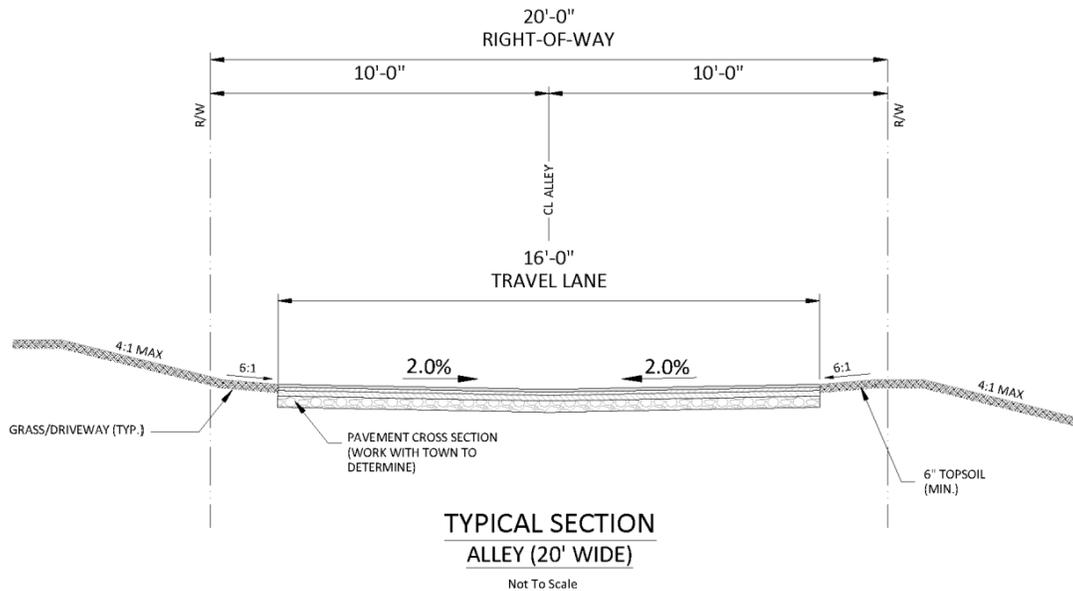


TYPICAL SECTION
NEIGHBORHOOD STREET (47'-49' R.O.W.)
Not To Scale



TYPICAL SECTION
NEIGHBORHOOD STREET (44'-46' R.O.W.)
Not To Scale

- iii. *Alley design standard.* The purpose of alleys are to provide rear-access to residential and commercial uses. Alleys are not to be striped, and on-street parking is strictly prohibited.



- iv. The planning commission may approve an alternate design for any of the before-mentioned street types so long as it meets the overall intent of the PVC.
- (c) *Street trees.* Street trees shall be continuously planted along both sides of the street throughout a PVC project. The street trees shall be planted every 30 linear feet between the street curb and sidewalk. No more than three of the same street tree species may be planted in a row. The following street trees may be planted based upon the width of grass strip between the street curb and sidewalk:
- i. Six-foot wide grass strip.
 - Ginkgo biloba 'Princeton Sentry' (Male no fruit)
 - Shawnee Brave Bald cypress (Taxodium distichum 'Mickelson')
 - Hardy rubber tree (Eucommia ulmoides)
 - Freeman maple (Acer x freemanii 'Scarsen') Scarlet Sentinel
 - Thornless Honeylocust (Gleditsia triacanthos var. inermis 'Shademaster')
 - ii. Five-foot wide grass strip.
 - American Hornbeam (Carpinus caroliniana)
 - New Horizon Elm (Ulmus 'New Horizon')
 - Hornbeam (Carpinus betulus 'Fastigiata')
 - Eastern Hop Hornbeam (Ostrya virginiana)
 - Trident Maple (Acer buergeriaman)
 - Miyabei Maple (Acer miyabei 'Morton' State Street)
 - iii. Alternate street tree species may be approved on a case-by-case basis by the Smyrna Shade Tree Commission.
- (d) *Street lights.* Should be installed every 60 linear feet (approximately off-centered and between the street trees planted every 30 linear feet) to ensure pedestrian lighting and safety. Street lights shall be a Sternberg Lighting Model Town Square A880SRLED as shown in figure 1 or a close alternative approved by the planning commission.



Sternberg Lighting Model Town Square
A880SRLED with a single (1) acorn-shaped
luminaire.



Sternberg Lighting Model Town Square
A880SRLED with dual (2) acorn-shaped
luminaires.

E. *Open space design requirements.*

- (a) Open space and recreational areas shall be incorporated as central and primary design features of each PVC, and not just remnant, vacant, and/or unusable pieces of land used as open space. Open space and recreational amenities should be interspersed throughout the project to ensure that each neighborhood and series of blocks has its own pockets of usable open space and amenities (within a two- or three-minute walking distance). Larger open spaces and amenities (i.e., town center greens and pavilions, clubhouse, pool) should be centrally located for the enjoyment and convenience of the maximum number of residents.
- (b) Each PVC shall include a variety of open space types, sizes, and recreational amenities to meet the needs of all ages, and to provide for a diversity of recreation activities. Projects shall be required to provide at least one of the following open space features or recreational amenities for every 50 dwelling units, rounded to the nearest increment of 50. The various neighborhoods and areas of larger PVC projects are better served by multiple smaller features, and more than one of each open space/amenity type may be used to meet the required number. The total acreage/square footage of required open space for each project shall be based upon the chart set forth in section 5.07(b)(5) of the subdivision and land development ordinance. The breakdown and allocation of open space types and recreational amenities shall be approved by

the planning commission based upon the intent of the PVC. The planning commission may grant waivers from the minimum and maximum sizes of the approved open space and recreational amenities options, which are as follows:

- (i) Two separate pocket parks in different locations of the PVC (400—3,000 square feet each with pedestrian seating, trash receptacles, lighting, and/or plantings).
 - (ii) Playground (minimum 3,000 square feet in size and furnished with at least five pieces of recreational equipment suitable for children).
 - (iii) Neighborhood green (5,000—25,000 square feet).
 - (iv) Town center green (40,000—80,000 square feet with at least one pergola, gazebo, or pavilion).
 - (v) Walking/biking trails (most often as part of a larger one-plus acre passive open space).
 - (vi) Square or plaza (2,500—10,000 square feet mixture of pavement and landscaped green space with a fountain, public art, statue, etc.).
 - (vii) Picnic area (5,000—20,000 square feet with at least six tables).
 - (viii) Club house (at least 1,500 square feet in size with meeting and recreational space, restrooms, etc.).
 - (ix) Fitness center (may be part of a club house, and must include at least 15 pieces of equipment).
 - (x) Swimming pool.
 - (xi) Sports courts (tennis, basketball, volleyball, racquetball, etc.).
 - (xii) Athletic fields (soccer/lacrosse, football, baseball, etc.).
 - (xiii) Pet parks (minimum 20,000 square feet in size).
- (c) Pedestrian and site furnishings, including, but not limited to pedestrian benches, trash cans, bike racks and tables should be included and appropriately sited throughout the different open space and recreational areas. Each open space type and recreational amenity shall also be appropriately landscaped with trees, shrubs, raised plantings and/or flower beds. Informational kiosks should be centrally located in larger projects to provide information about community events, amenities, etc. Pet parks shall include a perimeter fence at least four feet in height, and a water source for the animals. Pet parks are encouraged to have equipment, trails, and/or courses for the enjoyment of the animals.
- (d) Open space examples:



This 800 square foot pocket park is adorned with public seating and knee-wall at a mid-block location.



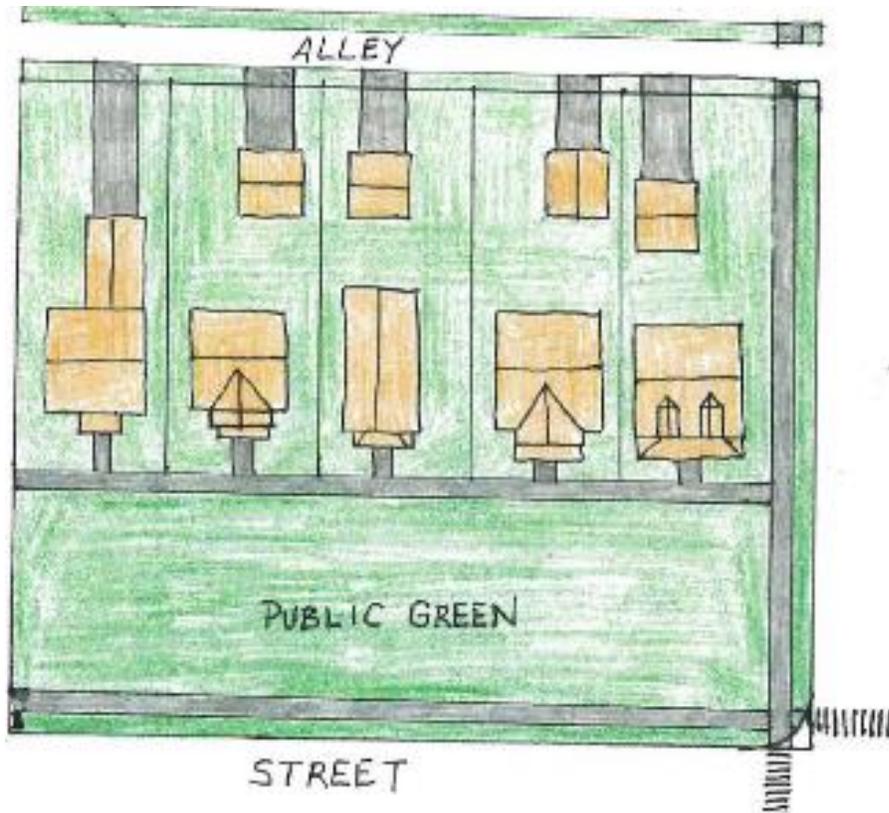
This 400 square foot pocket park anchors a commercial corner with pedestrian seating, plantings, and lighting.



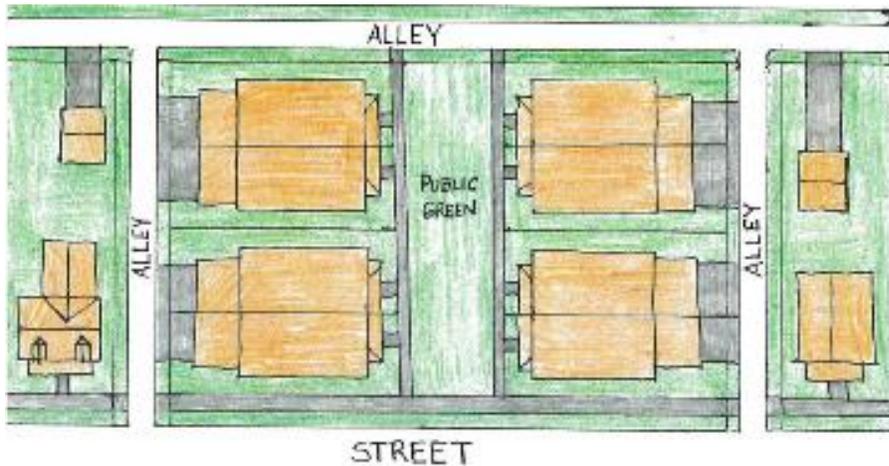
This 5,000 square foot public square/plaza includes a fountain, pedestrian seating, raised planting beds, and landscaping, and is best suited in higher density/commercial areas.



This 50,000 square foot town center green should be centrally located and adorned with pedestrian seating, fountain, pergola, gazebo, and/or a pavilion.



This 15,000 square foot green is sited so that the dwelling units directly face and overlook it.



Under this option, dwelling units mirror one another overlooking an approximately 5,000 square feet green/courtyard.



Clubhouse, pool, and playing courts centrally located at Paynter's Mill (Milton — Sussex County, DE).

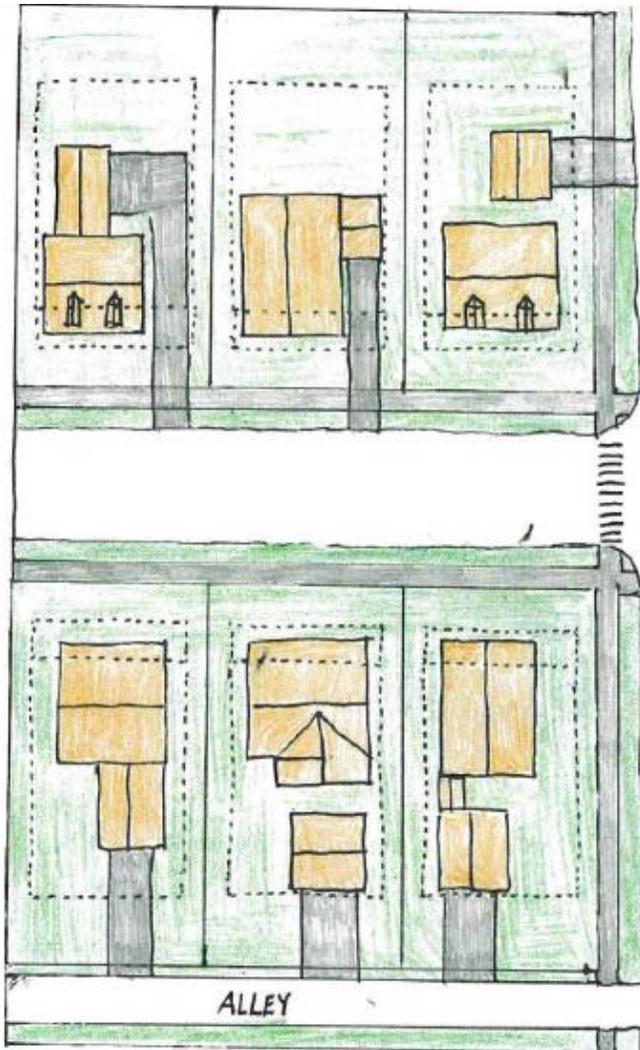
F. *Building type standards.*

1. *Single-family detached and semi-detached dwellings.*

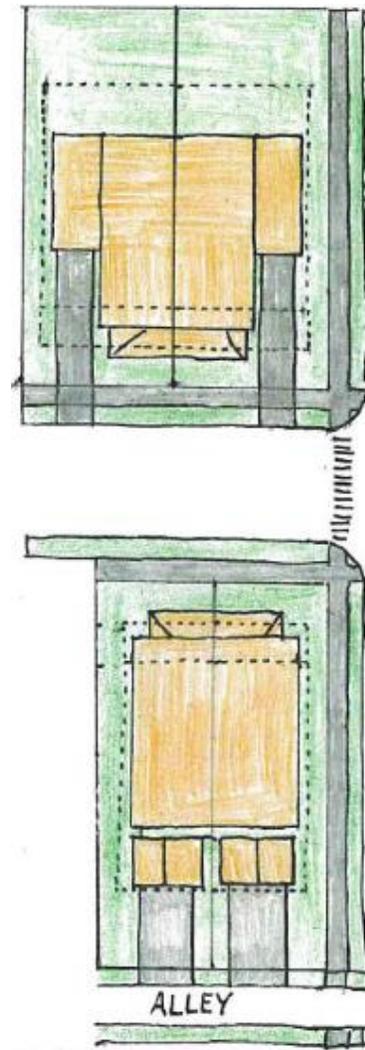
(a) *Garage configurations.*

- (i) At least 60 percent of single-family detached and semi-detached dwelling lots must be served by rear-access alleys.
- (ii) Front-loaded garages must be set back from the front of the dwelling a minimum of 18 feet.

- (b) At least 75 percent of all single-family dwellings must have an unenclosed covered porch six feet in depth that extends at least one-half of the front façade.
- (c) Dwellings must be at least one and one-half and no more than two and one-half stories in height.
- (d) A concrete sidewalk at least four feet wide must extend from the street to the front entrance and/or entry porch/stoop of the dwelling.
- (e) On corner lots for single-family detached dwellings, front-loaded garages must be located on the interior (side) lot line of the block. Alternatively, garages may be located to the rear of the dwelling, and empty onto the secondary street frontage.

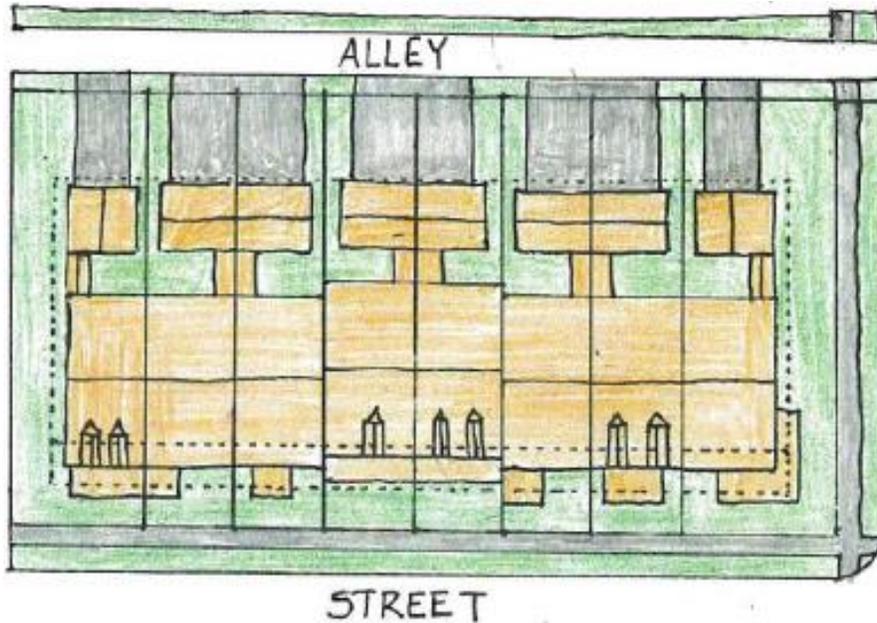


Potential Single-Family Dwelling Configurations.



Potential Semi-Detached Dwelling Configurations.

2. *Reserved.*
3. *Attached (townhouse) dwelling.*



- (a) All attached dwelling units must be served by rear-access alleys and may have attached or detached garages or carports.
- (b) Attached dwelling blocks may range in size from three to eight units. For projects with less than 50 attached dwelling unit lots, a minimum of three different block sizes must be constructed. For projects with between 50 to 99 attached dwelling unit lots, a minimum of four different block sizes must be constructed. For those projects with 100 or more attached dwelling unit lots, a minimum of five different block sizes must be constructed.
- (c) No more than three adjoining attached dwelling units shall be constructed along the same front plane without a minimum two feet change in plane (distance from front property line). This requirement may be waived if there are varying numbers of stories among and between units, and/or a change in the roof pitch, roof type, or roof height between units.
- (d) No more than two adjoining dwelling units within the same block shall be constructed of the same exterior building material or color.
- (e) Attached dwellings must be two or three stories in height.
- (f) At least 50 percent of the attached dwelling units in each dwelling block must have an unenclosed front covered entry porch a minimum six feet in depth and six feet in width.
- (g) On corner lots, the front entrance to the end attached dwelling unit may face either the primary or secondary street frontage.
- (h) A concrete sidewalk at least four feet in width must extend from the street to the front entrance and/or entry porch/stoop of the dwelling.
- (i) A vegetative hedge (either evergreen or flowering) or a raised flower bed shall be planted directly in front of the dwellings and/or along the sidewalk to create a continuous street buffer. A vegetative hedge shall not exceed three feet in height. The building code official may approve alternative buffer types, including but not limited to a low vinyl or wood picket fence.



Three-story townhouses with two-foot alternating projections, varied building materials & window/entry fenestration at Clarks Crossing (Clarksburg, Montgomery County, MD).



Three-story townhouses with two-foot alternating roof heights, alternating façade colors and materials and entry porches at Darley Green (Claymont — New Castle County, DE).



Two-story townhouses with alternating façade materials, faux dormers, and variously-sized entry porches at Whitehall (Middletown — New Castle County, DE).

4. *Apartment dwelling.*

- (a) Off-street parking areas serving apartment dwellings must be located to the rear of said building(s), provided that off-street parking areas may be situated on the side of said building if the configuration of the development makes rear parking impractical. Apartment dwellings may also be served by attached or detached garages or carports along rear-access alleys. Modified parking designs are encouraged, including but not limited to, double stacking residential parking spaces and placing parking spaces on the rear ground story of apartment buildings or behind a front façade wall.
- (b) Apartment buildings may not exceed 15 dwelling units. Projects with 36 to 72 dwelling units shall have a minimum of two apartment building sizes. Projects with 73 to 144 dwelling units shall have three apartment building sizes. Projects with 145 or more dwelling units shall be required to have at least four apartment building sizes.
- (c) Apartment dwellings shall be two stories or three stories in height.
- (d) Apartment dwellings of six or fewer units should generally be constructed to resemble a large single-family dwelling or mansion found in the historic downtown of Smyrna or another historic downtown in Delaware. Apartment buildings of seven or more dwelling units should be generally constructed to resemble either: a block of attached (townhouse) dwellings, or multi-story mixed building in the historic downtown of Smyrna or another historic downtown in Delaware.
- (e) Apartment buildings greater than 50 feet in length shall incorporate design elements that break up the expanse of building facades every 20—50 feet to mimic the façade of an historic townhouse block or mixed-use building that was constructed in sections over time utilizing various traditional architectural styles. The following design elements may be used to break up the facades of apartment buildings at said intervals:
 - i. Varied roof height (of at least two feet) or roof type. This also includes the varied use of dormers along said roof sections.
 - ii. Varied building material and/or colors, to include the use of scales/shingles and ground level wainscoting.

- iii. The use of staggered wall offsets of at least two feet in depth.
 - iv. The use of variously sized and detailed exterior covered entry porches, projecting balconies and 2nd /3rd floor porches.
 - v. The use of variously sized and shaped windows, window moldings and pediments, and window shutters between each section of the building façade.
- (f) An unenclosed covered porch/stoop, at least four feet by four feet in size, shall be located at every ground floor exterior entrance in each apartment building.
- (g) A concrete sidewalk at least four feet in width must extend from the street to every exterior ground floor entrance of every apartment building.
- (h) A vegetative hedge (either evergreen or flowering) shall be planted either (or both) directly in front of the dwellings and/or along the sidewalk to create a continuous street buffer. A vegetative hedge shall not exceed three feet in height. The building code official may approve alternative buffer types, including but not limited to a low vinyl or wood picket fence.



Eight-unit two-story apartment building at The Willows (Cecilton — Cecil County, MD).



Six-unit two-story apartment building at Lantern Hill (Doylestown — Bucks County, PA).



Twelve-unit three-story apartment building at Florin Hill (Mount Joy — Lancaster County, PA).



Nine-unit three-story apartment building at Stone Grove Crossing (Salisbury — Wicomico County, MD).



Variouly sized apartment buildings (six—15 units in size) on a traditional grid street neighborhood with rear-accessed garages and parking areas at the Veranda of Norton Commons (Louisville, KY).



Claremont Apartments at Eagleview features 244 multi-family dwelling units in 45 apartment buildings (including six different building sizes from two—12 units) with grid street pattern, and rear-accessed parking and garages (Upper Uwchlan Township — Chester County, PA).

5. *Mixed-use buildings and commercial/office buildings.*
 - (a) Off-street parking areas serving mixed-use and commercial buildings must be located to the rear of said building(s); provided that off-street parking areas may be situated on the side of said building if the configuration of the development makes rear parking impractical. Shared parking between nearby non-residential uses and buildings is strongly encouraged, and may be counted towards the required number of vehicular parking spaces if approved by the planning commission.
 - (b) Mixed-use buildings may also be served by attached or detached garages or carports along rear-access alleys. Modified parking designs are encouraged, including but not limited to, double stacking residential parking spaces, and placing parking spaces on the rear ground story of mixed-use buildings or behind front façade wall.
 - (c) Mixed-use and commercial buildings shall front boulevard streets where on-street parking is provided on both sides of the street. Parking lots should be accessed through rear-access alleys or streets, or, when not practical, by adjacent neighborhood streets. Parking lots should not have entrances or exits onto boulevard streets where practicable. As a last resort, commercial curb cut entrances onto boulevard streets should be shared among neighboring internal parking lots on the same block. Curb cuts shall be minimized to enable uninterrupted pedestrian movement along sidewalks. Parking lots should not front boulevard streets if at all practicable, and should instead be directed along adjacent neighborhood streets if they cannot be fully accommodated behind a building.
 - (d) Parking lots which face boulevard or neighborhood streets shall be screened by a low vegetative hedge not to exceed three feet in height, or an alternative buffer screen approved by the planning commission.
 - (e) The footprint of mixed-use buildings shall not exceed 10,000 square feet, and the gross floor area of commercial/office buildings shall not exceed 15,000 square feet.
 - (f) Mixed-use buildings shall be two or three stories in height. The first floor shall consist of commercial, retail, and office-related uses, while the second and third floors may contain apartment dwelling units. Buildings used solely for commercial and/or office purposes may be one, two, or three stories in height, with a minimum building height of 16 feet, which may be achieved with a pitched roof, raised parapet, and/or faux second story façade.

- (g) Mixed-use and commercial buildings shall have at least one exterior entry onto the boulevard street face of the building. Mixed-use and commercial buildings located at intersections are strongly encouraged to have additional exterior entries at the corner of the building, and along the neighborhood street face of the building.
- (h) Smaller commercial buildings are strongly encouraged to mimic the appearance of a traditional single-family dwelling in Smyrna's historic downtown. One-story commercial buildings shall have either: (a) raised parapet, (b) pitched roof, and/or (c) faux second story façade.
- (i) If any mixed-use building or commercial building has a façade that is at least 50 feet in length, the building shall include design elements that break up the expanse of the building façade every 20—50 feet to mimic a traditional mixed-use building in Smyrna's historic downtown commercial district that was constructed incrementally in smaller sections over time. The following design elements may be used to break of the facades of apartment buildings at said intervals:
 - i. Varied roof height (of at least two feet) or roof type. This also includes the varied use of dormers along said roof sections.
 - ii. Varied building material and/or colors, to include the use of scales/shingles and ground level wainscoting.
 - iii. The use of staggered wall offsets of at least two feet in depth.
 - iv. The use of variously sized and detailed exterior covered entry porches, projecting balconies, arcades, marquee, parapets, terraces, spires, towers, cupolas, faux dormers, etc.
 - v. The use of variously sized and shaped windows, window moldings and pediments, and window shutters between each section of the building façade.
- (j) The area of a 1st floor building façade situated between two feet and ten feet from the ground and which is facing the boulevard Street shall consist of at least 40 percent transparent windows. Those facades facing neighborhood streets are strongly encouraged to include transparent windows on the 1st floor (or at least appropriately matched and scaled faux windows).
- (k) Heating, ventilation, and air conditioning (HVAC) systems shall not be visible from collector or boulevard streets or any other streets on which the building fronts and shall be screened using materials and architectural features that are consistent with the building's architectural style.

Windo Façade Comparison





Three-story mixed-use building at the 'Spotsylvania Courthouse Village — Spotsylvania County, VA). This 10,000 square foot footprint (30,000 square feet GFA) features numerous façade design features, and variously-spaced breaks, to emulate a series of much smaller buildings constructed at different time periods and architectural styles.



Three-story mixed-use building at 'Eagleview' (Lionville — Chester County, PA) with a 10,000 square foot footprint. While the same brick material/color is used through the exterior façade, appropriately-spaced façade projections, arcade porches, and the use of cross gables help to break up the façade of this large building.



Three-story mixed-use building along South Main Street in Newark, Delaware with an approximately 9,000 square foot footprint.



Three-story mixed-use building at 'Florin Hill' (Mount Joy — Lancaster County, PA) features a central tower and spire with alternating façade fronts, colors, and building materials.

Commercial Building Examples.



One-story 12,000 square foot multi-tenant commercial in Chestertown (Kent County, MD) building features numerous façade breaks, material changes, and varying roof heights and types to give the allusion that it is a series smaller (but multi-story) downtown commercial/mixed-use buildings.



One-story CVS in Eagle, PA (Chester County) with façade breaks, corner tower, and raised parapet to give the allusion that it is a two-story building. Faux windows are used to compliment the transparent windows, and again add scale to the building.

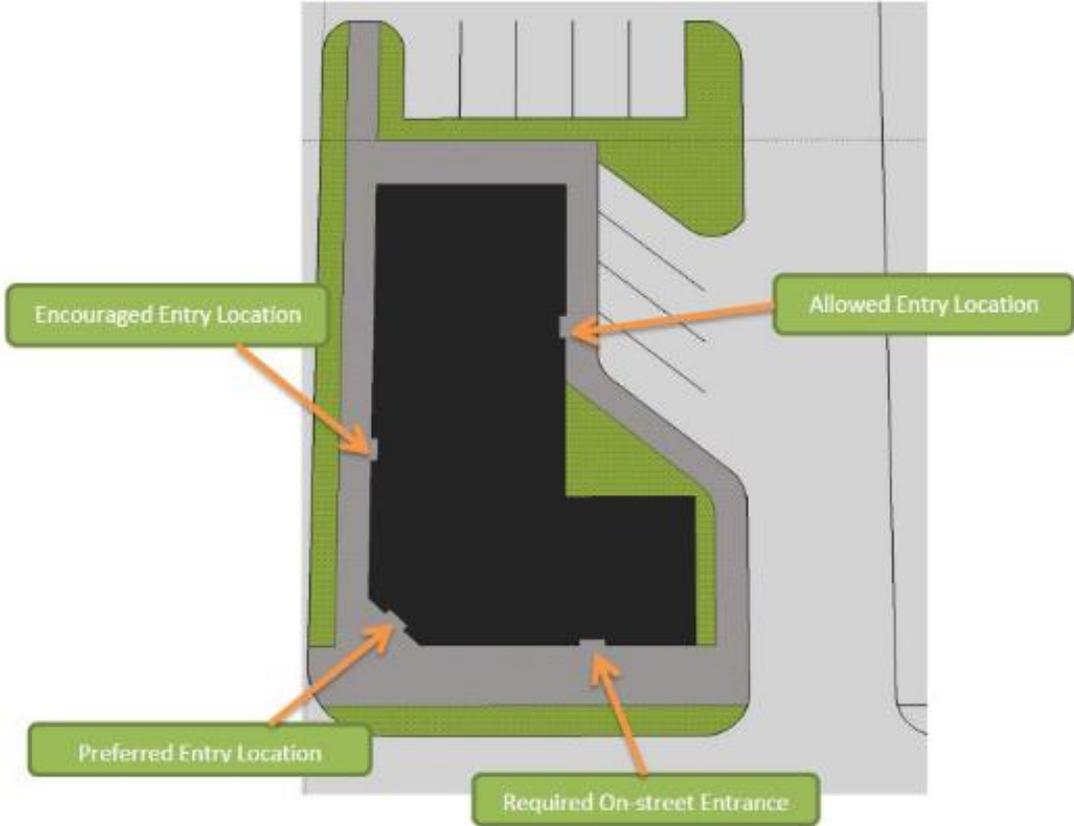


This two-story office building in Centreville, MD (Queen Anne's County) features staggered façade projections and cross gables to break up the façade.



This two-story bank in downtown Media, PA (Delaware County) is meant to resemble an historic Victorian mansion in the general vicinity.

Mixed-Use/Commercial/Office Building Entrance Requirements.





Required Primary Road Frontage Entrances

Encouraged Side Street Entrance